



City of Alexandria, Virginia
Alexandria Permit Center
301 King Street, Suite 4200
Alexandria, Virginia 22314
permits.alexandriava.gov



Residential New, Additions and Accessory Structures- Completeness Checklist

Project Address: _____ Date Submitted: _____

In order for your application to be accepted into the permitting system you must submit the minimum requirements of each department listed below. Additional requirements may be required by any of the departments during the review period. **Meeting the requirements of this checklist does not constitute approval of your application**, only that the minimum submission requirements have been met for each department to begin their review.

Code Administration Requirements 703-746-4200

General Submission Requirements

- 5 plan sets, size no larger than 24" x 36" If addition is no larger than 1,200 square feet, no plans are required for trade permits)
- Tree Information Form
- Contractor Business License and State License or Property Owner's Affidavit Provided on Application
- Noise Ordinance Affidavit
- Asbestos Affidavit
- House location plat/ Approved Grading Plan- 6 copies (Example A)
- Neighbor Notification Letter (if proposed project is <= 5ft from the property-line)
- Rodent Abatement Documentation
- Soils Report (refer to policy for proposed project specific requirements)

Architectural Requirements

- Floor Plans, including room designations & ceiling heights (Examples B, C & D)
- Roof Plan, including covering materials & roof slopes (Example L)
- Exterior Wall Sections, including required fire-resistance rated assemblies < 5ft from the property-line (Examples G, I & L)
- Building Elevations (exterior) (Example E)

Structural Requirements

- Proposed Design Criteria & Loads
- Foundation Plan & Sections, including drainage (Example F)
- Floor Framing Plans & Sections (Example H)
- Roof Framing Plans & Sections (Example H)
- Engineering Calculations, signed & sealed by a VA RDP (If design exceeds IRC prescriptive methods)
- Braced Wall Plans & Sections (lateral force resisting system) (Example L)

Plumbing Requirements

(The following are required for ≥ 4 proposed plumbing fixtures)

- Water Riser Diagram (Example J)
- Drainage/Vent Diagram (Example J)

Electrical Requirements

- Panel Location
- Switching/Lighting/Receptacle Layout
- Single-line Riser Diagram, if service is >200amps (Examples C & D)
- Smoke Alarms (detectors) (Examples C & D)
- Indicate Required 'Ground Fault Circuit Interrupter' (GFCI) Protection
- Indicate Required 'Arc Fault Circuit Interrupter' (AFCI) Protection

Mechanical Requirements

- Interior & Exterior Equipment Locations/ Specifications
- Energy Envelope Worksheet, if not complying with IRC requirements
- Duct Layout, sizes & ventilation rate (ft³/minute)
- Manual J Calculations
- Gas Riser Diagram (with gas pipe size & length)
- Radiator Layout
- Floor System Layout
- Engineered System (ex: ground-source heat pump), signed & sealed by a VA RDP
- House Location Plat (See Example A and P&Z Attachment A) (P&Z)
- Floor Area and Open Space Calculation sheet (open space only) (P&Z)
- Screening details for rooftop equipment (P&Z)

Staff Use Only

- I have reviewed this application and have found it to be **complete** and ready for review.
- I have reviewed this application and have found it to be **incomplete**. The applicant must submit the highlighted items above in order to have a complete application.

Staff Name/ Initials

Date

Planning and Zoning Requirements 703-746-4333

- Floor Area and Open Space Calculation Form (see attachment P-1 or P-2 as applicable)
 - Plan elevations (with height survey for the block face for new residential structures) and floor plans to scale with dimensions and average existing grade noted on plans
 - Is the property under the purview of a Board of Architectural Review? Yes _____ No _____
 - If yes, have you obtained BAR approval for all or part of the work? Yes _____ No _____
 - BAR Case Number _____
- (Additional supporting documentation, including material specifications, may be required.)

Staff Use Only

- I have reviewed this application and have found it to be **complete** and ready for review.
- I have reviewed this application and have found it to be **incomplete**. The applicant must submit the highlighted items above in order to have a complete application.
- P&Z review not required.

Staff Name/ Initials **Date**

Transportation and Environmental Services Requirements 703-746-4035

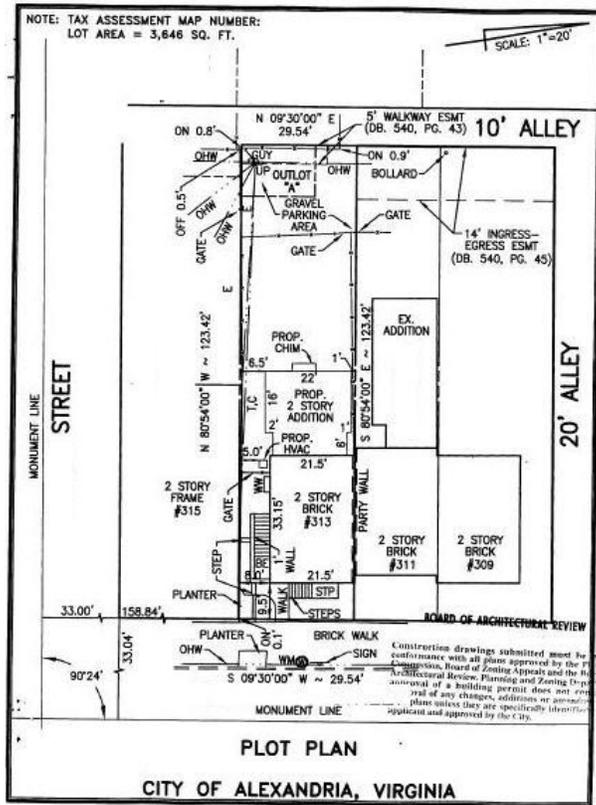
- Sump pump, Foundation Drain and Roof Drain – show discharge location (must connect to storm sewer if within 100 ft. of property line).
- Will there be a change in the attachment point of any overhead utilities?
 - If so, you must obtain a Variance or Waiver of the Underground Utilities Requirement (attachment T-1)
- If excavating in the public right-of-way, requires T&ES excavation permit
- If the proposal is associated with a Site Plan or Grading Plan, a copy of the approved plan must be attached to each permit plan set.
- Provide the required disturbed area certification and the drainage certification language on all survey plats (see attachment T-2). The certifications must be signed by the property owner or signed and sealed by the Registered Design Professional.
- Provide the location and actual square footage of the disturbed area on all submitted survey plats.
- Provide the dimensions of the addition on the survey plat.

Staff Use Only

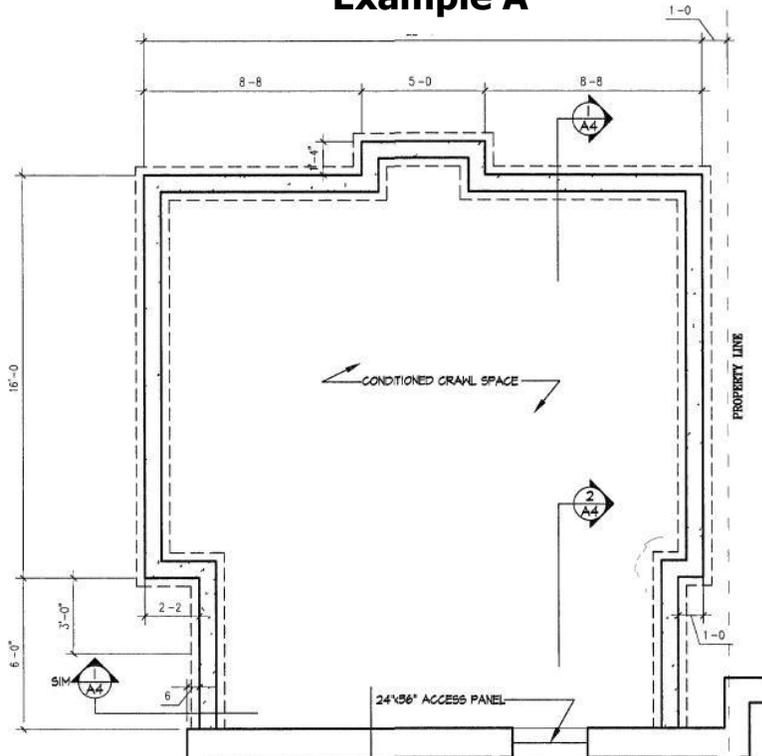
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Staff Name/ Initials **Date**

Staff Comments

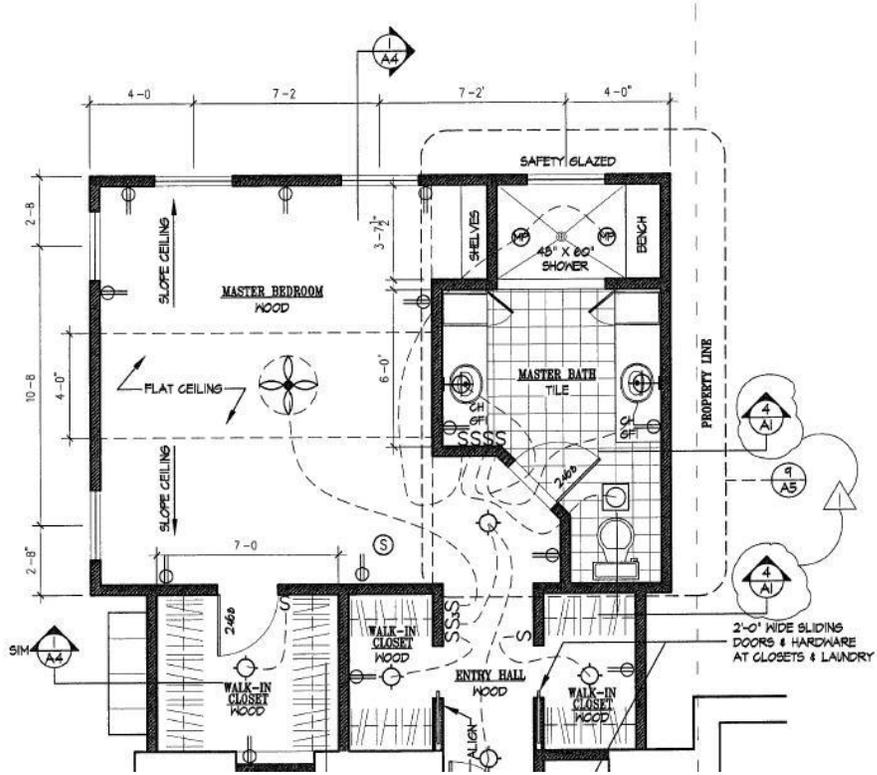


Example A



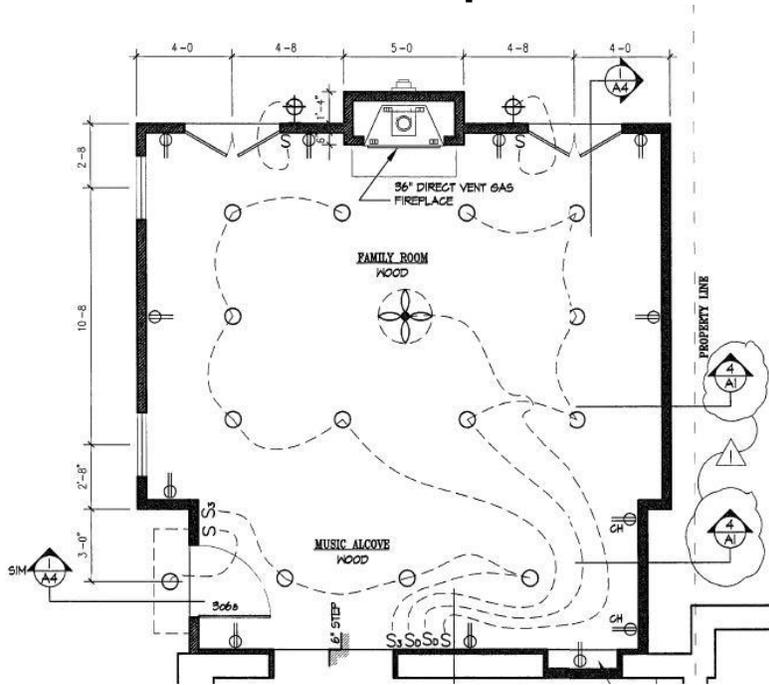
1 BASEMENT PLAN
A1 SCALE 1/4" = 1'-0"

Example B



2 FIRST FLOOR PLAN
 A1 SCALE 1/4" = 1'-0"

Example C

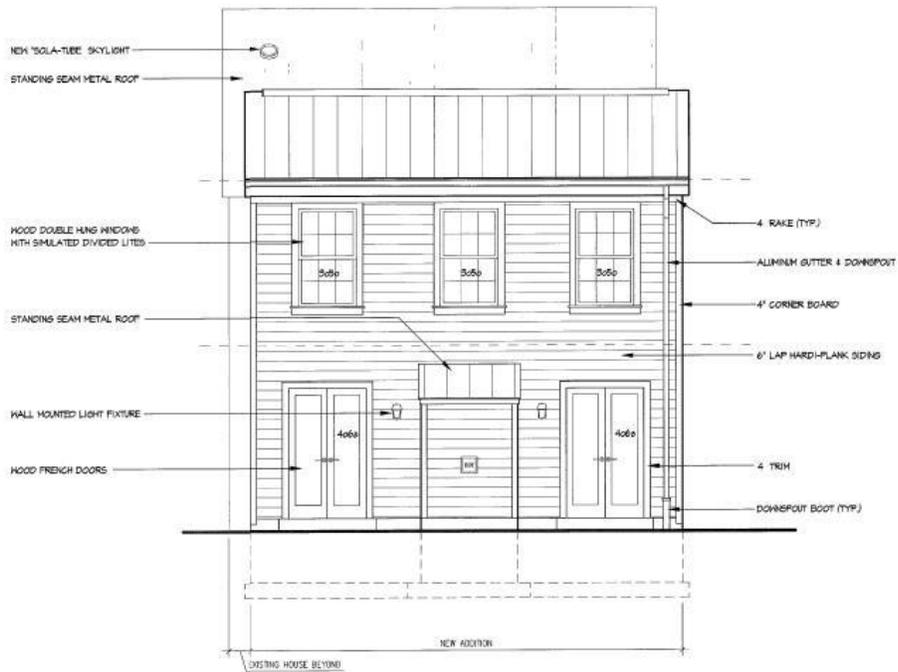


3 SECOND FLOOR PLAN
 A1 SCALE 1/4" = 1'-0"

Example D

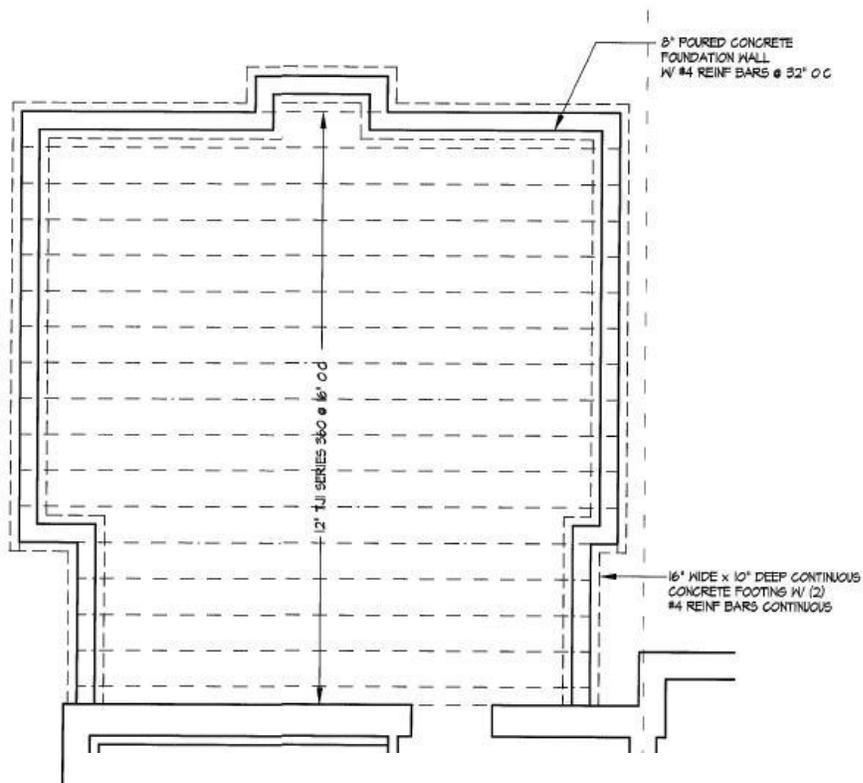


2 LEFT SIDE ELEVATION
 A2 SCALE 1/4" = 1'-0"



3 REAR ELEVATION
 A2 SCALE 1/4" = 1'-0"

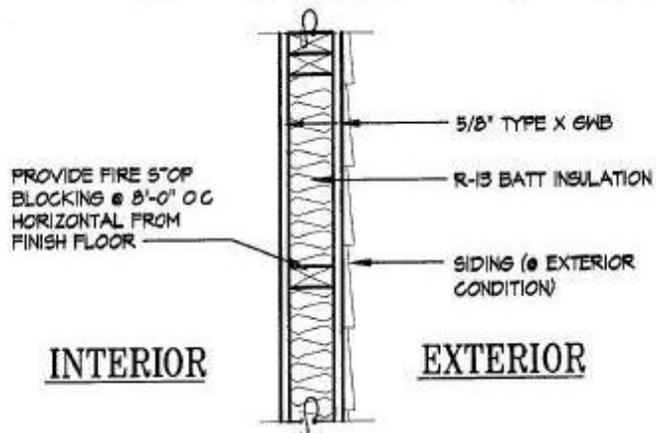
Example E



1 FIRST FLOOR FRAMING PLAN
A1 SCALE 1/4" = 1'-0"

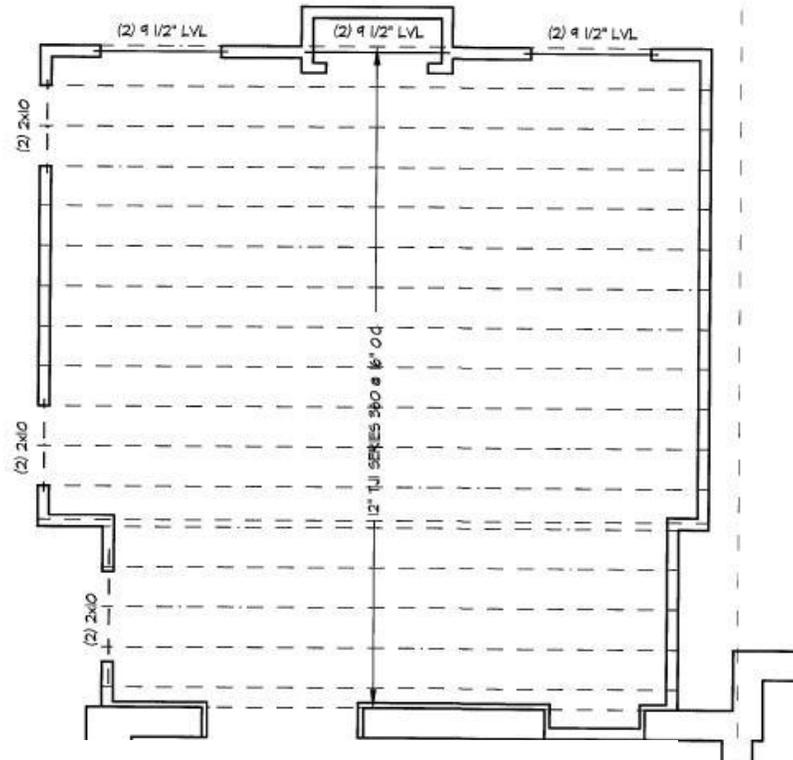
- NOTE
- 1 THE ENTIRE HOUSE IS CONTINUOUSLY SHEATHED UNLESS NOTED OTHERWISE
 - 2 ALL BEARING WALLS & COLUMNS TO BE HORIZONTALLY BRACED @ MIDPOINT
 - 3 PLUMBING FIXTURES ARE SHOWN FROM ABOVE

Example F

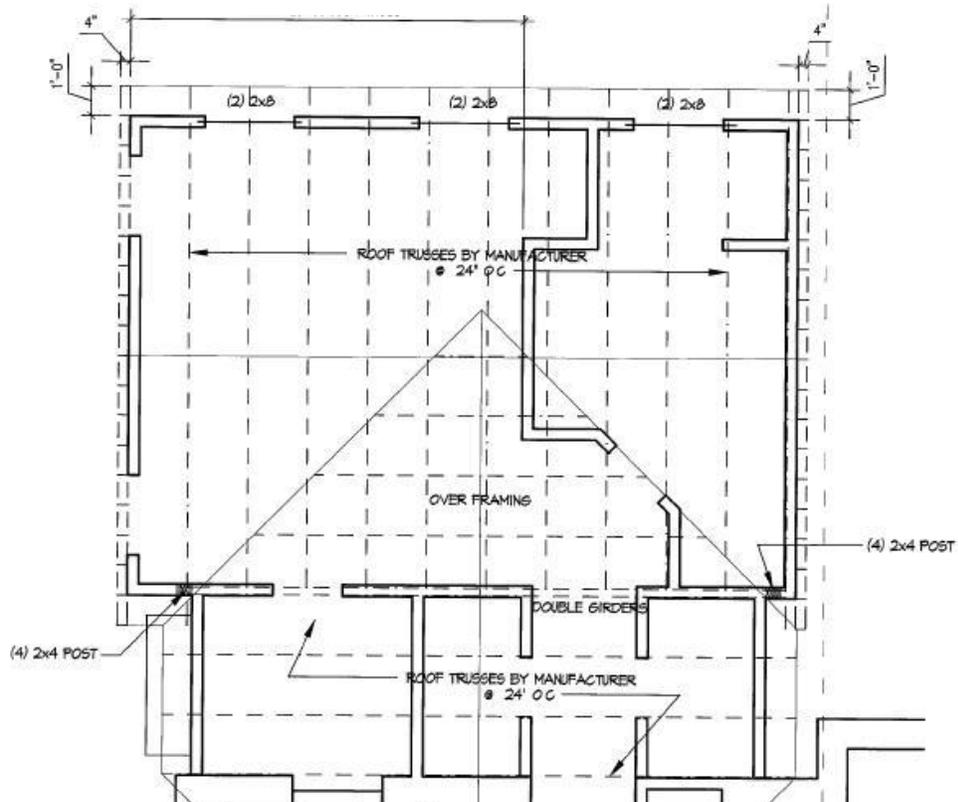


4 FIRE RATING WALL DETAIL - UL # U305
A1 SCALE 1" = 1'-0"

Example G

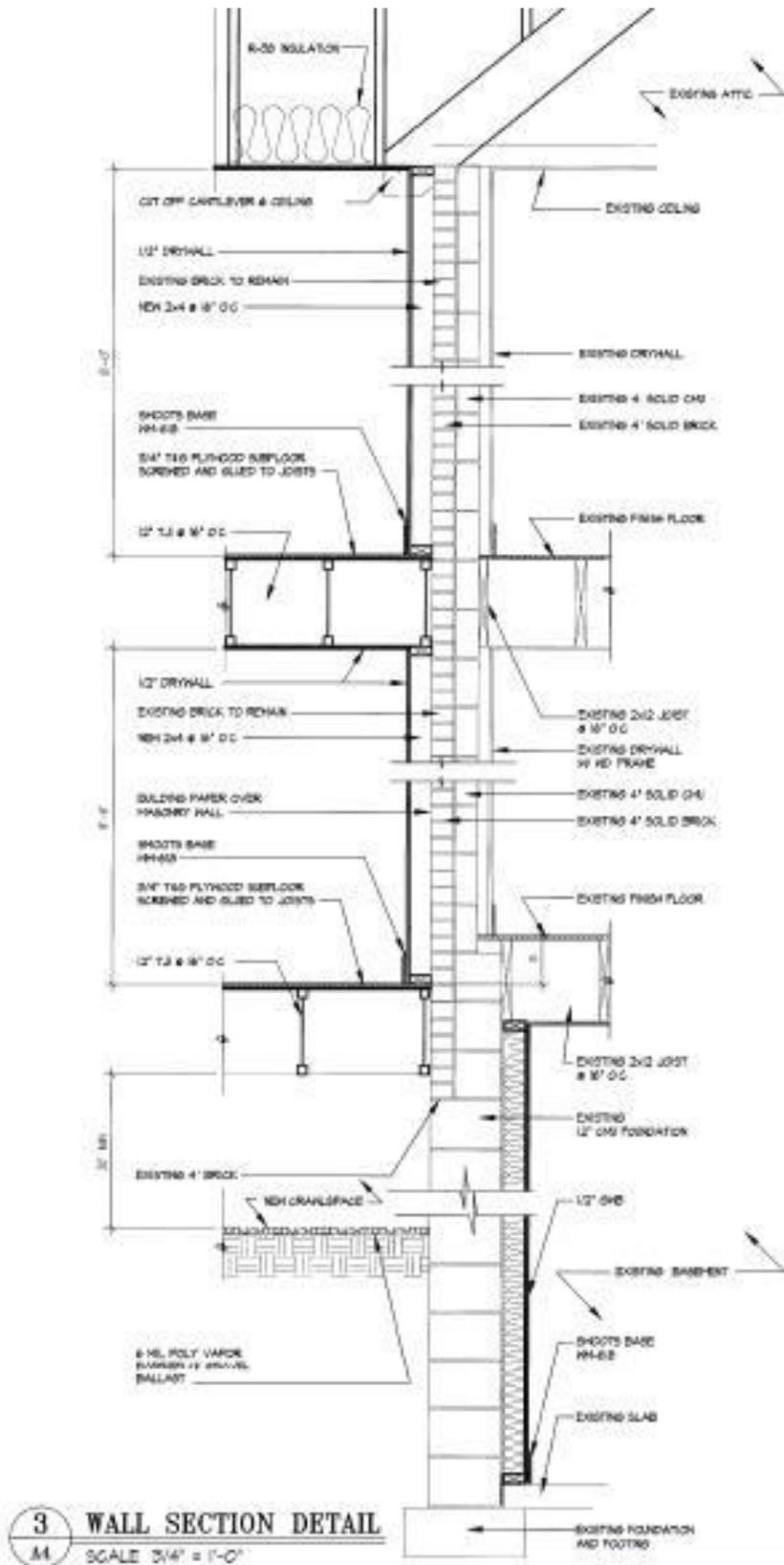


1 SECOND FLOOR FRAMING PLAN
 A1 SCALE 1/4" = 1'-0"

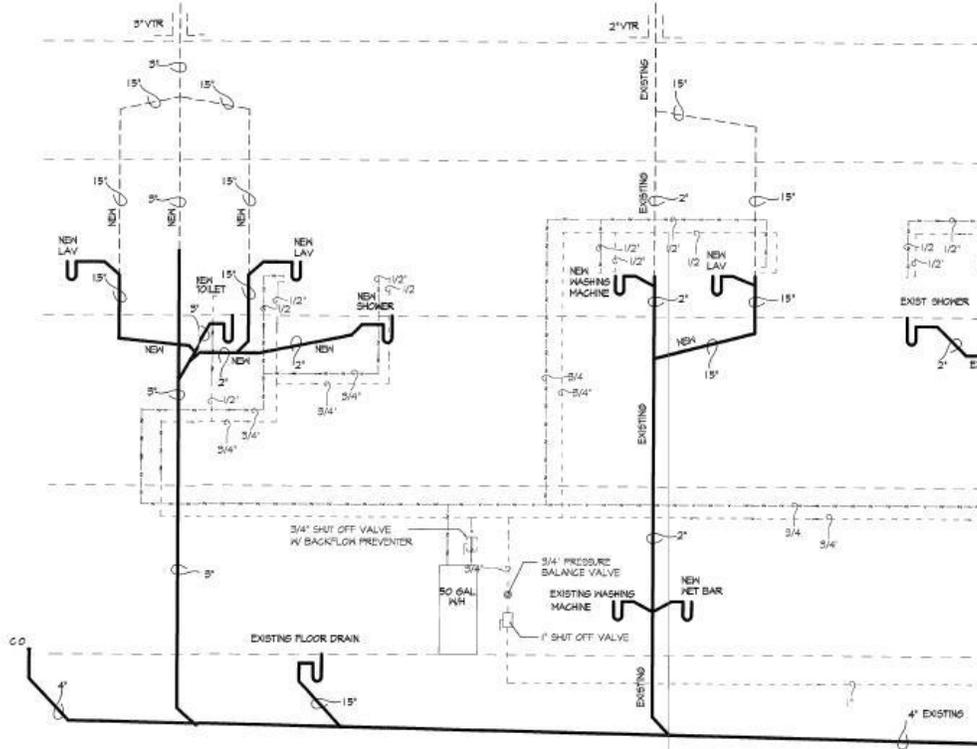


2 ROOF FRAMING PLAN
 A1 SCALE 1/4" = 1'-0"

Example H

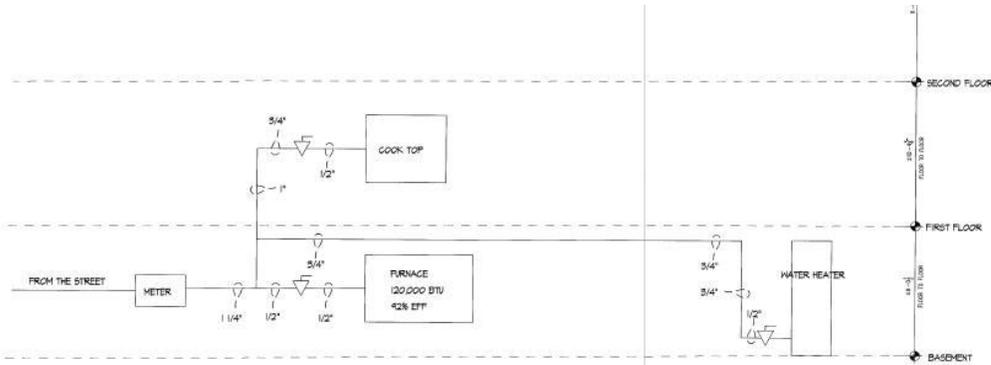


Example I



1 SANITARY AND WATER RISER DIAGRAM
P1 SCALE: NO SCALE

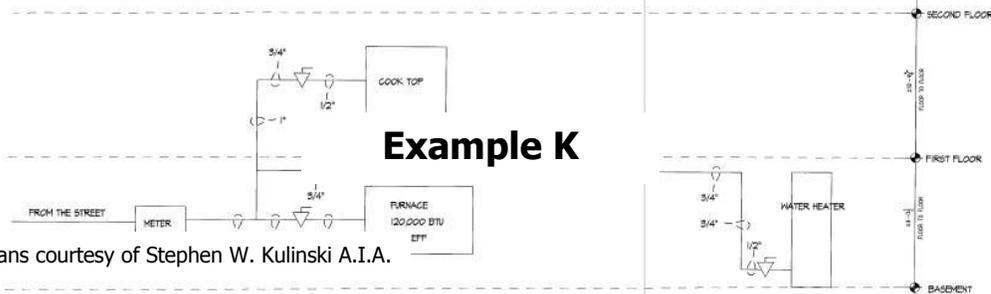
Example J



1 SANITARY AND WATER RISER DIAGRAM
P1 SCALE: NO SCALE

NOTES
SIZED @ 3 IN PRESS PER 100 FT @ SPECIAL GRAVITY 0.6
CONTRACTOR TO VERIFY SYSTEM CAPACITY AND PIPE SIZES W/ GAS COMPANY
AFTER FINAL SELECTION OF FIXTURES

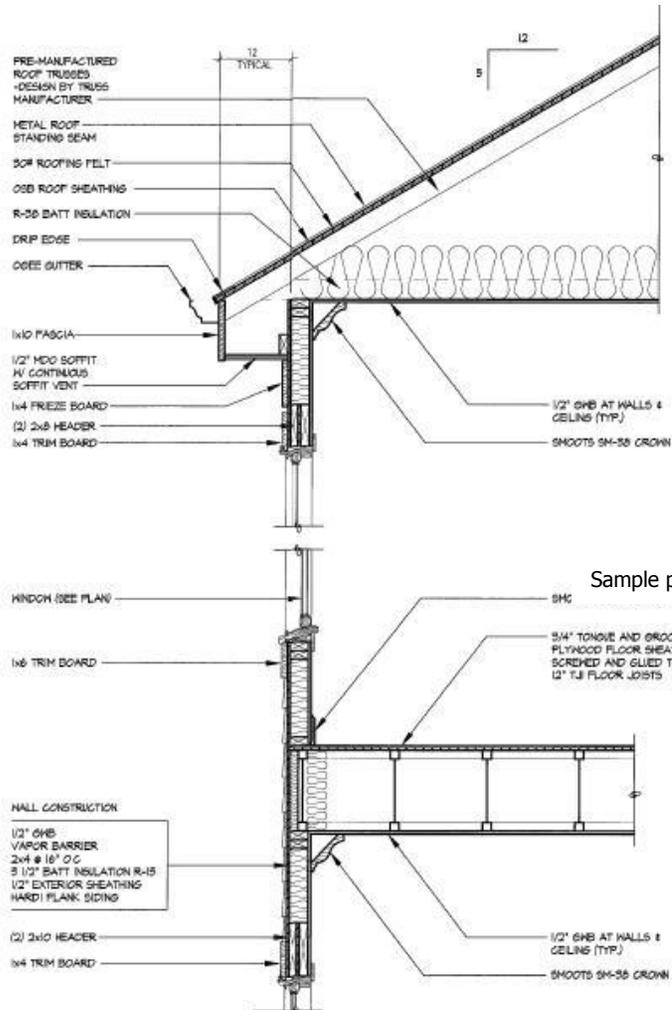
Example K



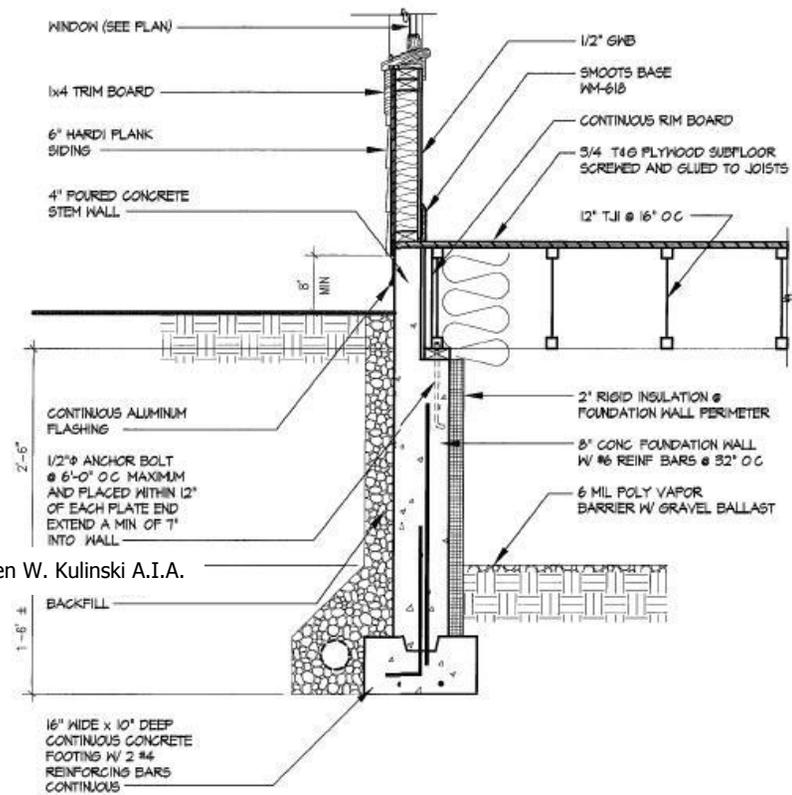
1 SANITARY AND WATER RISER DIAGRAM

NOTES
SIZED @ 3 IN PRESS PER 100 FT @ SPECIAL GRAVITY 0.6
CONTRACTOR TO VERIFY SYSTEM CAPACITY AND PIPE SIZES W/ GAS COMPANY

Sample plans courtesy of Stephen W. Kulinski A.I.A.



Sample plans courtesy of Stephen W. Kulinski A.I.A.



1 WALL SECTION DETAIL
A4 SCALE 3/4" = 1'-0"

WALL BRACING PER 2006 IRC SECTION R602.10 ALL NEW WALLS TO BE BRACED WALL CONSTRUCTION METHOD #3 - WOOD STRUCTURAL PANEL SHEATHING (FULLY SHEATHED) WITH THE EXCEPTION OF THE ONE HOUR FIRE RATED WALL ONE HOUR FIRE RATED WALL TO BE BRACED WALL CONSTRUCTION METHOD #5 GYPSUM BOARD PANEL

Example L

Sample plans courtesy of Stephen W. Kulinski A.I.A.

**Information Required by TES for Building Permits not Requiring an
Approved Grading Plan or Final Site Plan**

Please submit the following information in accordance with City Code Sections 8-1-22(d) and 8-1-30(e) and as further explained in the Memorandum to Industry NO. 02-08, dated April 28, 2008.

1. Provide information described below on a copy of the house location plat:

In order to determine the area of disturbance in the absence of a grading plan, the disturbed area will be computed by adding a minimum 10-foot wide work area to the perimeter of the footprint of the proposed improvements and calculating the area within the increased perimeter. In addition a minimum 10-foot wide access path from the edge of the disturbed area to the street or paved driveway must be included in the disturbed area calculation. In the case where a 10-foot wide perimeter is not sufficient, it is the responsibility of the applicant to delineate limits of disturbance sufficient for the execution of the work. Dumpsters, soil stockpiles and material storage areas must all be within the limits of disturbance as well.

A copy of the house location plat is required to accompany a building permit application.

House location plats must meet the following requirements:

- No reduced, enlarged or faxed copies will be accepted.
 - Provide 3 individual separate copies (not copied onto plan sheets).
 - The footprint area of the proposed improvements must be drawn to scale.
 - The additional minimum 10-foot perimeter, construction access and other areas as described above must be shown to scale.
 - The overall dimensions of the proposed improvements must be shown.
 - The actual square footage of the disturbed area must be shown.
2. Provide the locations of roof drain and sump pump (if applicable) discharges on the house location plat. Locate discharges in accordance with criteria in COA memos dated April 8 and June 18, 2004. Provide sufficient topographic information at each discharge point to demonstrate that runoff will not negatively impact adjacent properties or public right of way. Use flow arrows to indicate the direction of flow from all discharges.
3. The two attached certifications must be provided on the submitted plat. The certifications must be signed and dated by the property owner or signed, sealed and dated by a professional registered in Virginia (engineer, surveyor or architect). If necessary due to space limitations it is acceptable to place the certifications on the back of the plat.

Disturbed Area Certification:

I hereby certify that the limits of disturbance associated with this project represent a total land disturbance of less than 2,500 square feet. I further certify that no construction work, material storage, dumpster placement, construction access or disturbance of any other kind will take place beyond the limits of disturbance as depicted. I acknowledge that should this project result in land disturbance equal to or greater than 2,500 square feet, the City will issue a stop work order and work on the project will not be allowed to resume until a Grading Plan has been submitted to and approved by the City of Alexandria, Department of Transportation and Environmental Services.

Drainage Certification:

I hereby certify that the existing and proposed drainage patterns associated with this project are as depicted herein, that construction of this project will not create a nuisance to adjacent or downstream properties either public or private and that any existing drainage problems on adjacent or downstream properties either public or private will not be exacerbated by construction of this project. I acknowledge that should this project result in the creation of any nuisance, or exacerbation if any existing drainage problem, the City will issue a stop work order and work on this project will not be allowed to resume until a Grading Plan has been submitted to and approved by the City of Alexandria, Department of Transportation and Environmental Services.